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PROJECT TEAM / ÉQUIPE DU PROJET :

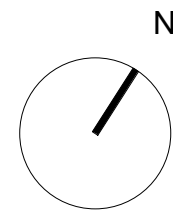
Project Team 1

SITE CONTEXT



SURVEY INFO

TOPOGRAPHIC SURVEY OF :



GENERAL NOTES

- NOTE-A :**
• ALL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS, INCLUDING OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS. ANY DISCREPANCIES BETWEEN DRAWINGS WILL BE REPORTED TO THE PROJECT LEAD IMMEDIATELY FOR CLARIFICATION PRIOR TO COMMENCING ANY CONSTRUCTION.
- NOTE-B :**
• ALL GENERAL SITE INFORMATION AND CONDITIONS HAVE BEEN COMPILED FROM EXISTING PLANS AND SURVEYS.
- NOTE-C :**
• CONTRACTOR IS RESPONSIBLE TO CHECK AND VERIFY ALL DIMENSIONS ON SITE AND REPORT ALL ERRORS AND / OR OMISSIONS TO THE ARCHITECT.
- NOTE-D :**
• REFER TO LANDSCAPE PLAN FOR ALL EXTERIOR LANDSCAPING.
- NOTE-E :**
• DO NOT SCALE DRAWINGS.
- NOTE-F :**
• ALL CONTRACTORS MUST COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.

LEGEND

SURFACES

- GRASS
- RIVERSTONE
- CONCRETE PAVERS
- POURED CONCRETE
- ASPHALT PAVING
- PROPOSED NEW BUILDING
- EXISTING BUILDING TO REMAIN
- EXISTING BUILDING TO BE DEMOLISHED

LINES

- PROPERTY LINE
- SETBACK LINE
- EXISTING FENCE
- NEW FENCE
- OVERHEAD WIRES

VEGETATION

- TREE: EXISTING TO REMAIN
- TREE: EXISTING TO BE REMOVED
- TREE: NEW PROPOSED DECIDUOUS / CONIFEROUS
- SHRUB: NEW PROPOSED

SYMBOLS

- DIRECTIONAL ARROWS
- BUILDING ACCESS
- BUILDING EGRESS
- SIAMESE CONNECTION
- UTILITY POLE
- FIRE HYDRANT
- CATCH BASIN / MANHOLE
- DEPRESSED CURB
- LANDSCAPE LIGHT
- LIGHT POLE
- WALL MOUNTED LIGHT
- EXISTING GRADE ELEVATION
- PROPOSED GRADE ELEVATION
- LOT CORNERS

PARKING

- BIKE PARKING
H: HORIZONTAL 0.6M x 1.8M
V: VERTICAL 0.5M x 1.5M
S: STACKED 0.37M x 1.8M
- CAR PARKING
R: RESIDENTIAL
V: VISITOR
- BF PARKING
R: RESIDENTIAL
V: VISITOR
- BF PARKING (TYPE A)
R: RESIDENTIAL
V: VISITOR
- BF PARKING (TYPE B)
R: RESIDENTIAL
V: VISITOR

PROJECT INFORMATION

SITE SUMMARY

ADDRESS: CATHERINE ST. DEVELOPMENT
R3-56 + R3-56-4p
SITE AREA: 17946.00 m²
PROPOSED USE: RESIDENTIAL (STACKED TOWNS)
BUILDING AREA (PER BLOCK): 474.00 m²
SITE OCCUPANCY: 3318.00 m²

ZONING SUMMARY

LOT AREA (per DU): 140.00 m²
MIN. LOT WIDTH: 24.00 m
MAX. BUILDING HEIGHT: 14.50 m
MAX. PARAPET HEIGHT: Above max. building
SET BACKS:
- FRONT YARD: 6.00 m (min.)
- EXTERIOR SIDE YARD: 3.50 m (min.)
- INTERIOR SIDE YARD: 3.00 m (min.)
- REAR YARD: 6.00 m (min.)
- MINIMUM BUILDING SEP.: 4.00 m
MIN LANDSCAPED AREA: 5383.80 m² (30%)

VEHICULAR PARKING

MIN RES. PARKING SPACES (1.5/unit): 147
MIN VIS. PARKING SPACES (25%): 37
MIN ACCESSIBLE PRKG SPACES (1+3%): 5

BICYCLE PARKING

MIN PARKING SPACES (0.5/unit): 49

AMENITY AREA

PRIVATE (balconies): 252.00 m²
COMMUNAL (60%): 433.00 m²
TOTAL (6m² per Unit): 594.00 m²

BUILDING SUMMARY

UNITS	GFA - OBC
14U 2-1/2ST (A-G)	
LEVEL 0	6 474.00 m ²
LEVEL 1	4 474.00 m ²
LEVEL 2	4 469.00 m ²

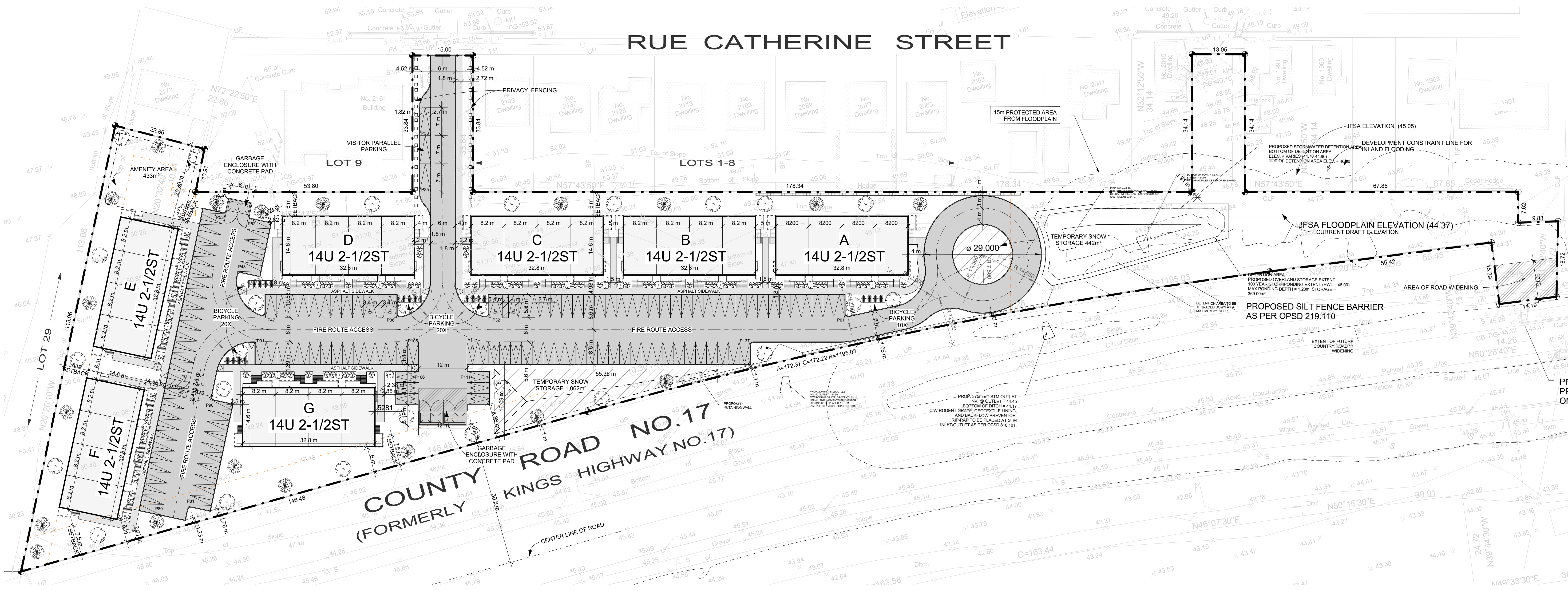
UNIT TYPE DISTRIBUTION

(per building)	1-BED	2-BED	3-BED	TOTAL
LEVEL 0	4	2	0	6
LEVEL 1	0	2	2	4
LEVEL 2	0	2	2	4
TOTAL	4	6	4	14

SITE COVERAGE

	AREA	PERCENTAGE
ASPHALT:	4884 m ²	(27.2%)
HARD LANDSCAPING:	1038 m ²	(5.8%)
SOFT LANDSCAPING:	8662 m ²	(48.25%)
BUILDINGS:	3362 m ²	(18.75%)
TOTAL :	17 946 m²	(100%)

RUE CATHERINE STREET



KEY PLAN / PLAN CLÉ :



CLIENT :



Tel : 819.663.7777 | www.devcore.ca

1.9	99% COORD.	24-11-22
1.8	COA	24-11-18
1.7	66% COORD.	24-10-07
1.6	REVISION 4	24-07-17
1.5	REVISION 3	24-06-12
1.4	REVISION 2	24-05-06
1.3	REVISION 1	24-01-17
1.2	33% COORD.	23-12-11
1.1	SCHEMATIC DES.	23-11-15
1.0	CLIENT COORD.	23-10-27

PROJECT NAME / NOM DU PROJET :

**Rockland Dev.
Catherine - 12un 2st**

Catherine Street

DRAWING NAME / NOM DU DESSIN :

COMPLEX PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET: **23174B**
DATE: **2023-11-16**
DRAWN BY / DESSINÉ PAR: **CK/RS**
REVIEWED BY / VÉRIFIÉ PAR: **ES**
SCALE / ÉCHELLE: **As Indicated**
PROJECT PHASE / PHASE DU PROJET: **2**
DWG NO. / NO. DESSIN: **A051**

1 SITE PLAN
1:500



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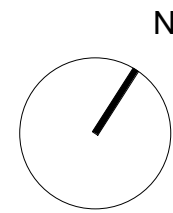
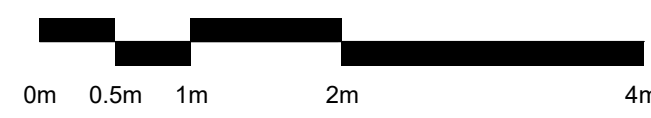
Project Team 1

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V: VERTICAL 0.5M x 1.5M
S: STACKED 0.37M x 1.8M
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R: RESIDENTIAL
V: VISITOR
- BF PARKING
R: RESIDENTIAL
V: VISITOR
- BF PARKING (TYPE A)
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- BF PARKING (TYPE B)
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PROPOSED USE: RESIDENTIAL (STACKED TOWNS)
BUILDING AREA (PER BLOCK): 474.00 m²
SITE OCCUPANCY: 3318.00 m²

ZONING SUMMARY

	REQUIRED	PROPOSED
LOT AREA (per DU)	140.00 m ²	183.10 m ²
MIN. LOT WIDTH	24.00 m	28.05 m
MAX. BUILDING HEIGHT	14.50 m	3.50 m
MAX. PARAPET HEIGHT	N/A	0.30 m
Above max. building		
SET BACKS :		
- FRONT YARD	6.00 m (min.)	6.00 m (min.)
- EXTERIOR SIDE YARD	3.50 m (min.)	N/A (min.)
- INTERIOR SIDE YARD	3.00 m (min.)	6.00 m (min.)
- REAR YARD	6.00 m (min.)	6.00 m (min.)
- MINIMUM BUILDING SEP.	4.00 m	5.00 m
MIN LANDSCAPED AREA	5383.80 m ² (30%)	8662.00 m ² (48.25%)

VEHICULAR PARKING

	REQUIRED	PROPOSED
MIN RES. PARKING SPACES (1.5/unit)	147	137 (1.39/Unit)
MIN VIS. PARKING SPACES (25%)	37	15 (11%)
MIN ACCESSIBLE PRKG SPACES (1+3%) (included in parking count)	5	6

BICYCLE PARKING

	REQUIRED	PROPOSED
MIN PARKING SPACES (0.5/unit)	49	50

AMENITY AREA

	REQUIRED	PROPOSED
PRIVATE (balconies)	252.00 m ²	791.00 m ²
COMMUNAL (50%)	504.00 m ²	433.00 m ²
TOTAL (6m ² per Unit)		1224.00 m ²

BUILDING SUMMARY

	UNITS	GFA - OBC
14U 2-1/2ST (A-G)		
LEVEL 0	6	474.00 m ²
LEVEL 1	4	474.00 m ²
LEVEL 2	4	469.00 m ²

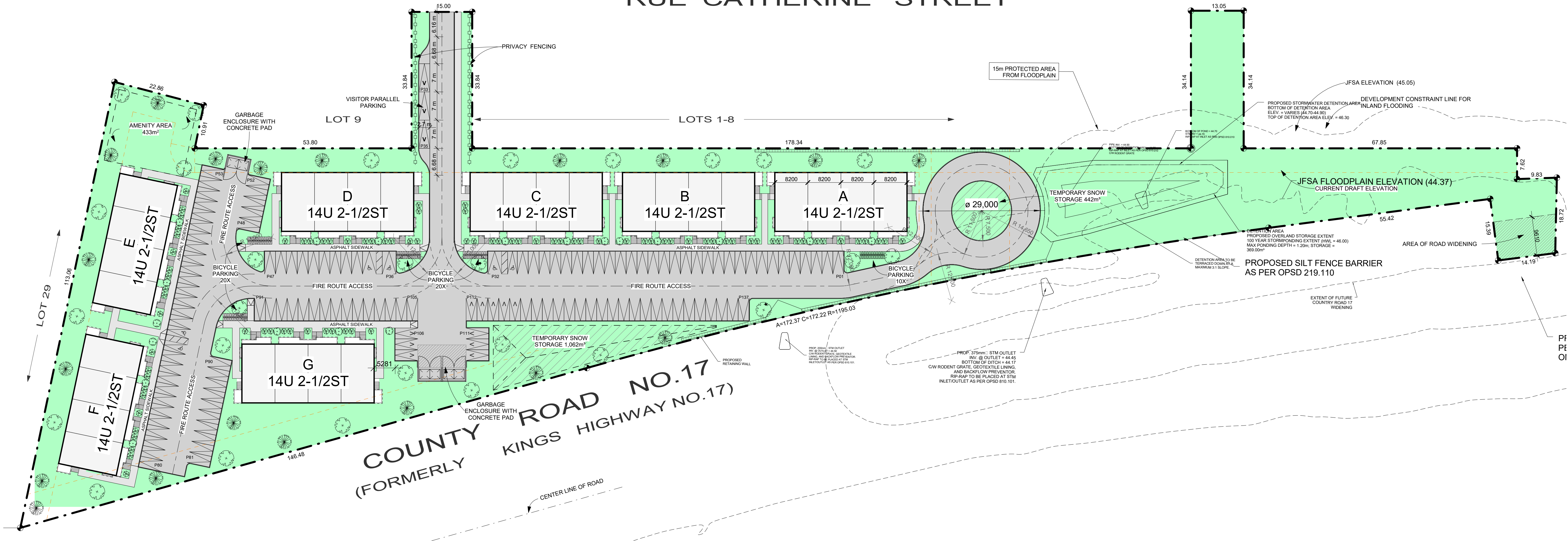
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	1-BED	2-BED	3-BED	TOTAL
LEVEL 0	4	2	0	6
LEVEL 1	0	2	2	4
LEVEL 2	0	2	2	4
TOTAL	4	6	4	14

SITE COVERAGE

ASPHALT:	4884 m ²	(27.2%)
HARD LANDSCAPING:	1038 m ²	(5.8%)
SOFT LANDSCAPING:	8662 m ²	(48.25%)
BUILDINGS:	3362 m ²	(18.75%)
TOTAL:	17 946 m ²	(100%)

RUE CATHERINE STREET



KEY PLAN / PLAN CLÉ :



CLIENT :



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1.9	99% COORD.	24-11-22
revision	description	date

PROJECT NAME / NOM DU PROJET :

**Rockland Dev.
Catherine - 12un 2st**

Catherine Street

DRAWING NAME / NOM DU DESSIN :

LANDSCAPING PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	23174B
DATE :	11/28/24
DRAWN BY / DESSINÉ PAR :	Author
REVIEWED BY / VÉRIFIÉ PAR :	Checker
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	2
DWG NO. / NO. DESSIN :	

A052

REVISION NO. / NO. DE RÉVISION :

1.9



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PROJECT TEAM / ÉQUIPE DU PROJET :

Project Team 1

TYPICAL DRAWINGS NOTES:

ALL INTERIOR PARTITIONS TO BE P1.2 UNLESS OTHERWISE NOTED.

STAGGER ALL PARTITIONS TO U/S DECK OR SLAB U.N.

INNER LAYERS MUST BE TAPED BUT NOT SANDED.

INSTALL GYPSUM BOARD WITH NO JOINTS GREATER THAN 6mm.

TAPE ALL GYPSUM BOARD JOINTS WITH DRYWALL COMPOUND.

FIRE-STOP CAULK OUTSIDE LAYER OF GYPSUM BOARD OF ALL RATED STEEL STUD PARTITIONS AT TOP AND BOTTOM AND ALL PENETRATIONS.

ACOUSTIC CAULK OUTSIDE LAYER OF GYPSUM BOARD OF ALL NON-RATED STEEL STUD PARTITIONS AT ALL PENETRATIONS.

CAULKING OF ANY GAP OVER 6 mm MUST BE OVER ROD BACKUP.

LOCATE ELECTRICAL BOXES ON OPPOSING FACES OF THE WALL IN SEPARATE STUD CAVITY.

TRIM AND EXTEND THERMAL AND ACOUSTIC BATT INSULATION CONTINUOUSLY BEHIND AND AROUND ALL ELECTRICAL BOXES.

PROVIDE SLOTTED TOP TRACK DEFLECTION HEAD AT T/O ALL CONCRETE BLOCK PARTITIONS

PACK VOID AT T/O OF ALL FIRE RATED CONCRETE BLOCK PARTITIONS WITH MINERAL WOOL AND SEAL IN PLACE WITH FIRE-STOP CAULK.

SEAL VOID AT T/O OF ALL NON-RATED CONCRETE BLOCK PARTITIONS WITH ACOUSTIC CAULK OVER BACKER ROD.

PROVIDE MAX. 0.50mm METAL STUDS FOR ALL INTERIOR PARTITIONS. NOTIFY ARCHITECT WHERE HEAVIER GAUGE IS NEEDED TO MEET DEFLECTIONS REQUIREMENT.

STUD WALL REINFORCEMENT:
SECURE 19mm VENEER CORE PLYWOOD BLOCKING TO STUDS WITHIN THE WALL CAVITY AS REQUIRED TO ANCHOR THE FUTURE INSTALLATION OF GRAB BARS LOCATED IN ALL SUITE WASHROOMS AND INSTALL BLOCKING TO ACCOMMODATE THE FOLLOWING GRAB BAR CONFIGURATIONS:

- 700mm TO 1500mm AFF ON ALL WALLS ADJACENT TO A WATER CLOSET EXTENDING 400mm TO 1200mm FROM WALL BEHIND THE WATER CLOSET
- 800mm LONG x 200mm HIGH CENTERED ON THE WALL BEHIND THE WATER CLOSET AND 150mm ABOVE THE TANK
- 850mm AFF x 200mm HIGH FULL LENGTH OF WALL OPPOSITE THE ENTRANCE TO THE SHOWER

GRIND HIGH-POINTS AND SKIM-COAT ALL EXPOSED CONCRETE SURFACES WITH DRYWALL COMPOUND.

MISCELLANEOUS METAL:

- CONTINUOUSLY WELD ALL STEEL COMPONENTS
- FILL AND GRIND ALL STEEL CONNECTIONS SMOOTH
- FINISH ALL EXPOSED STEEL SURFACES WITH PAINT

USE MOISTURE RESISTANT GYPSUM BOARD ON ALL WASHROOM AND HIGH HUMIDITY AREA CEILINGS AND WALLS.

USE GYPSUM TILE BACKER BOARD ON ALL SHOWER WALLS.

FIRE-CAULK PERIMETER OF ALL ACOUSTIC GYPSUM BOARD PARTITIONS.

WHERE OUTLET BOXES ARE INSTALLED BACK TO BACK, PACK CAVITY AROUND BOTH OUTLET BOXES AND SECURE ONE LAYER OF DRYWALL IN THE AIR-SPACE TO THE BACK SIDE OF ONE ROW OF STUDS. EXTEND THESE MEASURES FOR A MINIMUM RADIUS OF 600mm FROM CENTER OF EACH OUTLET BOX. IN ADDITION, PROVIDE PUTTY PADS TO ALL ELECTRICAL BOXES WHERE MORE THAN ONE ELECTRICAL BOX IS INSTALLED IN A SINGLE STUD CAVITY.

SHIM AS REQUIRED TO PLUMB WALLS FOR ALL FURRING CHANNELS. ADJUST OTHER DIMENSION ACCORDINGLY.

WHERE BATHTUBS ABUT A FIRE SEPARATION APPLY AN ADDITIONAL LAYER OF WATER RESISTANT GYPSUM BOARD TO PROVIDE SUBSTRATE FOR FINISHES ABOVE BATHTUB.

TYPICAL SUITE AND CORRIDOR DEMISING WALL ACOUSTIC REQUIREMENTS:

- CONTINUE DEMISING WALL BETWEEN SUITES THROUGH EXTERIOR WALL STUD CAVITY TO INSIDE FACE OF EXTERIOR SHEATHING AND FIRECAULK
- SUITE SIDE OF CORRIDOR DEMISING WALL GYPSUM TO BE DISCONTINUOUS AT JUNCTION WITH SUITE DEMISING WALL
- STAGGER GYPSUM LAYERS AT JOINTS

ACCESS LADDERS MUST CONFORM TO THE REQUIREMENTS OF ENGINEERING DATA SHEET 2-04, ISSUED BY THE MINISTRY OF LABOUR.

KEY PLAN / PLAN CLÉ :



CLIENT :



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1.9	99% COORD.	24-11-22
1.7	66% COORD.	24-10-07
1.2	33% COORD.	23-12-11
revision	description	date

PROJECT NAME / NOM DU PROJET :

**Rockland Dev.
Catherine - 12un 2st**

Catherine Street

DRAWING NAME / NOM DU DESSIN :

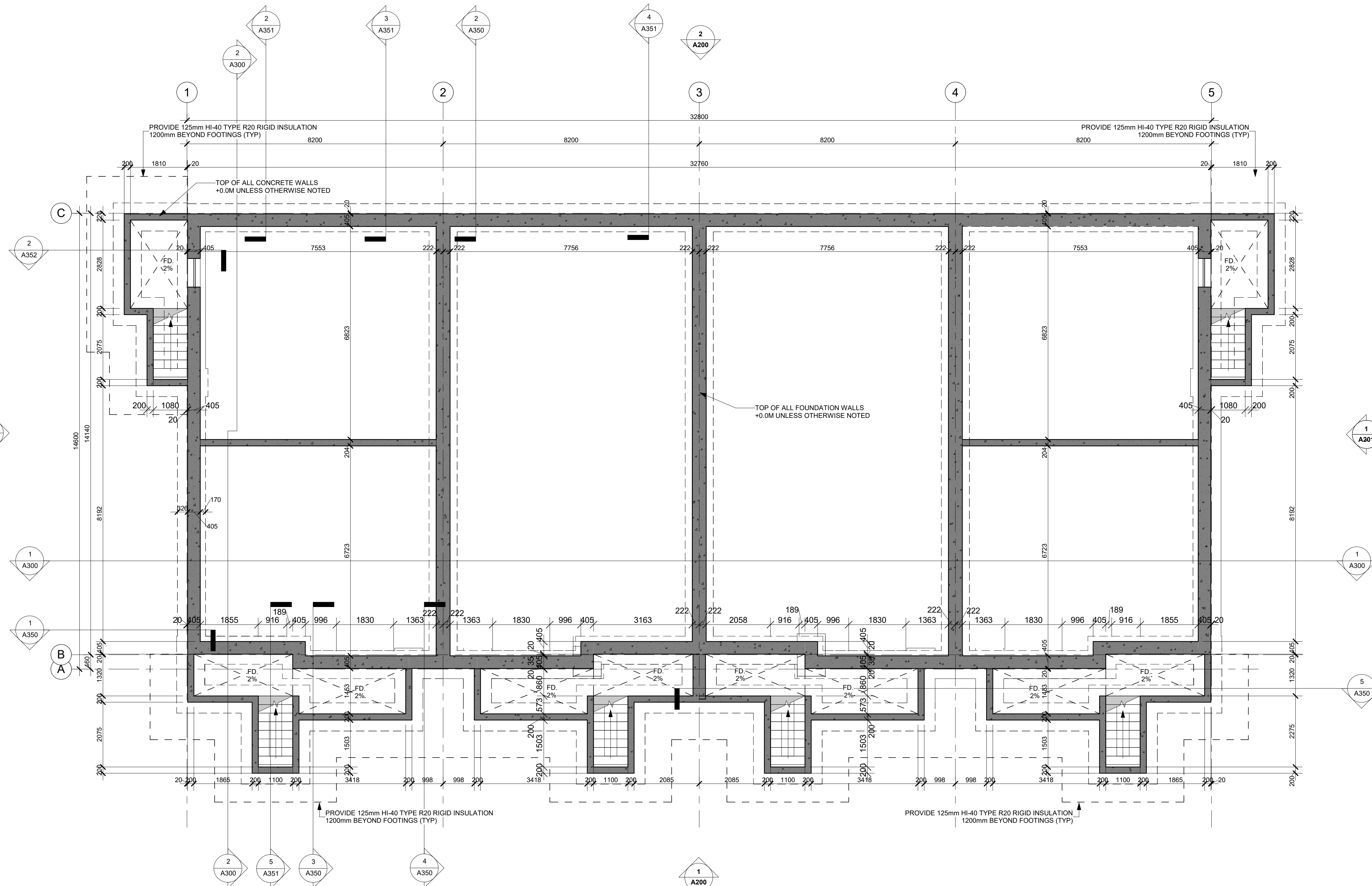
FOUNDATION PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	23174B
DATE :	12/05/23
DRAWN BY / DESSINÉ PAR :	RS
REVIEWED BY / VÉRIFIÉ PAR :	Checker
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	2
DWG NO. / NO. DESSIN :	

A100.0

REVISION NO. / NO. DE RÉVISION : 1.9



1 FOUNDATION PLAN
1 : 75



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PROJECT TEAM / ÉQUIPE DU PROJET :

Project Team 1

TYPICAL DRAWINGS NOTES:

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EXTEND ALL PARTITIONS TO U/S DECK OR SLAB U.N.

STAGGER ALL JOINTS OF MULTIPLE GYPSUM BOARD LAYERS.

INNER LAYERS MUST BE TAPED BUT NOT SANDED.

INSTALL GYPSUM BOARD WITH NO JOINTS GREATER THAN 6mm.

TAPE ALL GYPSUM BOARD JOINTS WITH DRYWALL COMPOUND.

FIRE-STOP CAULK OUTSIDE LAYER OF GYPSUM BOARD OF ALL RATED STEEL STUD PARTITIONS AT TOP AND BOTTOM AND ALL PENETRATIONS.

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PROVIDE SLOTTED TOP TRACK DEFLECTION HEAD AT T/O ALL STEEL STUD WALL AND PARTITION ASSEMBLIES.

PROVIDE 20mm DEFLECTION ALLOWANCE AT T/O ALL CONCRETE BLOCK PARTITIONS

PACK VOID AT T/O OF ALL FIRE RATED CONCRETE BLOCK PARTITIONS WITH MINERAL WOOL AND SEAL IN PLACE WITH FIRE-STOP CAULK.

SEAL VOID AT T/O OF ALL NON-RATED CONCRETE BLOCK PARTITIONS WITH ACOUSTIC CAULK OVER BACKER ROD.

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1.7	66% COORD.	24-10-07
1.2	33% COORD.	23-12-11
1.1	SCHEMATIC DES.	23-11-15
1.0	CLIENT COORD.	23-10-27
revision	description	date

PROJECT NAME / NOM DU PROJET :

**Rockland Dev.
Catherine - 12un 2st**

Catherine Street

DRAWING NAME / NOM DU DESSIN :

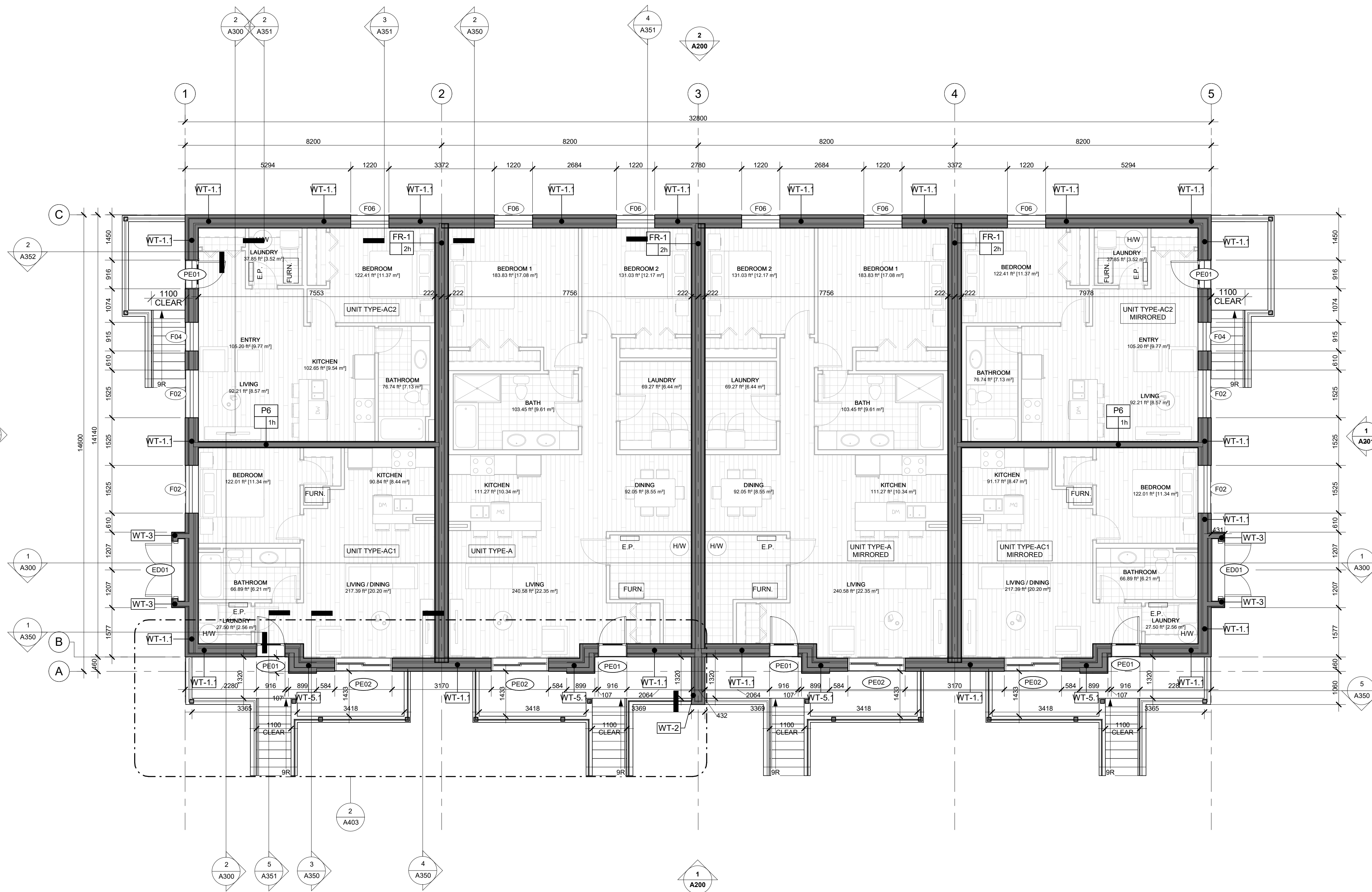
BASEMENT PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **23174B**
DATE : **2023-11-16**
DRAWN BY / DESSINÉ PAR : **CK/RS**
REVIEWED BY / VÉRIFIÉ PAR : **ES**
SCALE / ÉCHELLE : **As indicated**
PROJECT PHASE / PHASE DU PROJET : **2**
DWG NO. / NO. DESSIN :

A100.1

REVISION NO. / NO. DE RÉVISION : 1.9



1 BASEMENT PLAN
1 : 75



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PROJECT TEAM / ÉQUIPE DU PROJET :

Project Team 1

TYPICAL DRAWINGS NOTES:

ALL INTERIOR PARTITIONS TO BE P1.2 UNLESS OTHERWISE NOTED.

EXTEND ALL PARTITIONS TO U/S DECK OR SLAB U.N.

STAGGER ALL JOINTS OF MULTIPLE GYPSUM BOARD LAYERS.

INNER LAYERS MUST BE TAPED BUT NOT SANDED.

INSTALL GYPSUM BOARD WITH NO JOINTS GREATER THAN 6mm.

TAPE ALL GYPSUM BOARD JOINTS WITH DRYWALL COMPOUND.

FIRE-STOP CAULK OUTSIDE LAYER OF GYPSUM BOARD OF ALL RATED STEEL STUD PARTITIONS AT TOP AND BOTTOM AND ALL PENETRATIONS.

ACOUSTIC CAULK OUTSIDE LAYER OF GYPSUM BOARD OF ALL NON-RATED STEEL STUD PARTITIONS AT ALL PENETRATIONS.

CAULKING OF ANY GAP OVER 6 mm MUST BE OVER ROD BACKUP.

LOCATE ELECTRICAL BOXES ON OPPOSING FACES OF THE WALL IN SEPARATE STUD CAVITY.

TRIM AND EXTEND THERMAL AND ACOUSTIC BATT INSULATION CONTINUOUSLY BEHIND AND AROUND ALL ELECTRICAL BOXES.

PROVIDE SLOTTED TOP TRACK DEFLECTION HEAD AT T/O ALL CONCRETE BLOCK PARTITIONS.

PROVIDE 20mm DEFLECTION ALLOWANCE AT T/O ALL CONCRETE BLOCK PARTITIONS.

PACK VOID AT T/O OF ALL FIRE RATED CONCRETE BLOCK PARTITIONS WITH MINERAL WOOL AND SEAL IN PLACE WITH FIRE-STOP CAULK.

SEAL VOID AT T/O OF ALL NON-RATED CONCRETE BLOCK PARTITIONS WITH ACOUSTIC CAULK OVER BACKER ROD.

PROVIDE MAX. 0.50mm METAL STUDS FOR ALL INTERIOR PARTITIONS. NOTIFY ARCHITECT WHERE HEAVIER GAUGE IS NEEDED TO MEET DEFLECTIONS REQUIREMENT.

STUD WALL REINFORCEMENT:
SECURE 19mm VENEER CORE PLYWOOD BLOCKING TO STUDS WITHIN THE WALL CAVITY AS REQUIRED TO ANCHOR THE FUTURE INSTALLATION OF GRAB BARS LOCATED IN ALL SUITE WASHROOMS AND INSTALL BLOCKING TO ACCOMMODATE THE FOLLOWING GRAB BAR CONFIGURATIONS:

- 700mm TO 1500mm AFF ON ALL WALLS ADJACENT TO A WATER CLOSET EXTENDING 400mm TO 1200mm FROM WALL BEHIND THE WATER CLOSET
- 800mm LONG x 200mm HIGH CENTERED ON THE WALL BEHIND THE WATER CLOSET AND 150mm ABOVE THE TANK
- 850mm AFF x 200mm HIGH FULL LENGTH OF WALL OPPOSITE THE ENTRANCE TO THE SHOWER

GRIND HIGH-POINTS AND SKIM-COAT ALL EXPOSED CONCRETE SURFACES WITH DRYWALL COMPOUND.

MISCELLANEOUS METAL:

- CONTINUOUSLY WELD ALL STEEL COMPONENTS
- FILL AND GRIND ALL STEEL CONNECTIONS SMOOTH
- FINISH ALL EXPOSED STEEL SURFACES WITH PAINT

USE MOISTURE RESISTANT GYPSUM BOARD ON ALL WASHROOM AND HIGH HUMIDITY AREA CEILINGS AND WALLS.

USE GYPSUM TILE BACKER BOARD ON ALL SHOWER WALLS.

FIRE-CAULK PERIMETER OF ALL ACOUSTIC GYPSUM BOARD PARTITIONS.

WHERE OUTLET BOXES ARE INSTALLED BACK TO BACK, PACK CAVITY AROUND BOTH OUTLET BOXES AND SECURE ONE LAYER OF DRYWALL IN THE AIR-SPACE TO THE BACK SIDE OF ONE ROW OF STUDS. EXTEND THESE MEASURES FOR A MINIMUM RADIUS OF 600mm FROM CENTER OF EACH OUTLET BOX. IN ADDITION, PROVIDE PUTTY PADS TO ALL ELECTRICAL BOXES WHERE MORE THAN ONE ELECTRICAL BOX IS INSTALLED IN A SINGLE STUD CAVITY.

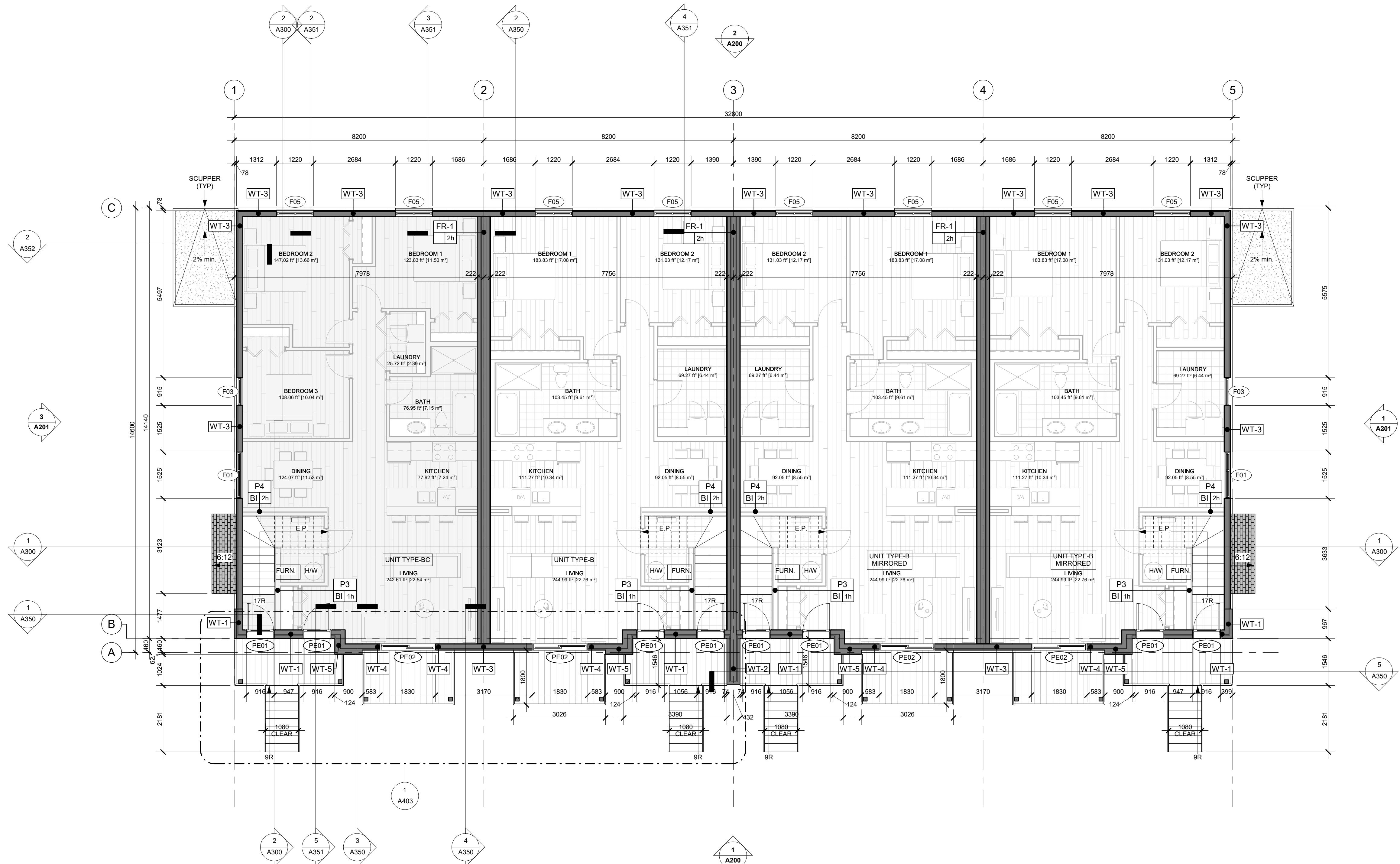
SHIM AS REQUIRED TO PLUMB WALLS FOR ALL FURRING CHANNELS. ADJUST OTHER DIMENSION ACCORDINGLY.

WHERE BATHTUBS ABUT A FIRE SEPARATION APPLY AN ADDITIONAL LAYER OF WATER RESISTANT GYPSUM BOARD TO PROVIDE SUBSTRATE FOR FINISHES ABOVE BATHTUB.

TYPICAL SUITE AND CORRIDOR DEMISING WALL ACOUSTIC REQUIREMENTS:

- CONTINUE DEMISING WALL BETWEEN SUITES THROUGH EXTERIOR WALL STUD CAVITY TO INSIDE FACE OF EXTERIOR SHEATHING AND FIRECAULK
- SUITE SIDE OF CORRIDOR DEMISING WALL GYPSUM TO BE DISCONTINUOUS AT JUNCTION WITH SUITE DEMISING WALL
- STAGGER GYPSUM LAYERS AT JOINTS

ACCESS LADDERS MUST CONFORM TO THE REQUIREMENTS OF ENGINEERING DATA SHEET 2-04, ISSUED BY THE MINISTRY OF LABOUR.



KEY PLAN / PLAN CLÉ :



CLIENT :



Tel : 819.663.7777 | www.devcore.ca

1.9	99% COORD.	24-11-22
1.7	66% COORD.	24-10-07
1.2	33% COORD.	23-12-11
1.1	SCHEMATIC DES.	23-11-15
revision	description	date

PROJECT NAME / NOM DU PROJET :

**Rockland Dev.
Catherine - 12un 2st**

Catherine Street

DRAWING NAME / NOM DU DESSIN :

GROUND FLOOR PLAN

DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	23174B
DATE :	2023-11-16
DRAWN BY / DESSINÉ PAR :	CK/RS
REVIEWED BY / VÉRIFIÉ PAR :	ES
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	2
DWG NO. / NO. DESSIN :	A101

1 GROUND FLOOR PLAN
1 : 75



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PROJECT TEAM / ÉQUIPE DU PROJET :

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TYPICAL DRAWINGS NOTES:

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INNER LAYERS MUST BE TAPED BUT NOT SANDED.

INSTALL GYPSUM BOARD WITH NO JOINTS GREATER THAN 6mm.

TAPE ALL GYPSUM BOARD JOINTS WITH DRYWALL COMPOUND.

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SECURE 19mm VENEER CORE PLYWOOD BLOCKING TO STUDS WITHIN THE WALL CAVITY AS REQUIRED TO ANCHOR THE FUTURE INSTALLATION OF GRAB BARS LOCATED IN ALL SUITE WASHROOMS AND INSTALL BLOCKING TO ACCOMMODATE THE FOLLOWING GRAB BAR CONFIGURATIONS:

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ACCESS LADDERS MUST CONFORM TO THE REQUIREMENTS OF ENGINEERING DATA SHEET 2-04, ISSUED BY THE MINISTRY OF LABOUR.

KEY PLAN / PLAN CLÉ :



CLIENT :



Tel : 819.663.7777 | www.devcore.ca

1.9	99% COORD.	24-11-22
1.7	66% COORD.	24-10-07
1.2	33% COORD.	23-12-11
1.1	SCHEMATIC DES.	23-11-15
1.0	CLIENT COORD.	23-10-27
revision	description	date

PROJECT NAME / NOM DU PROJET :

**Rockland Dev.
Catherine - 12un 2st**

Catherine Street

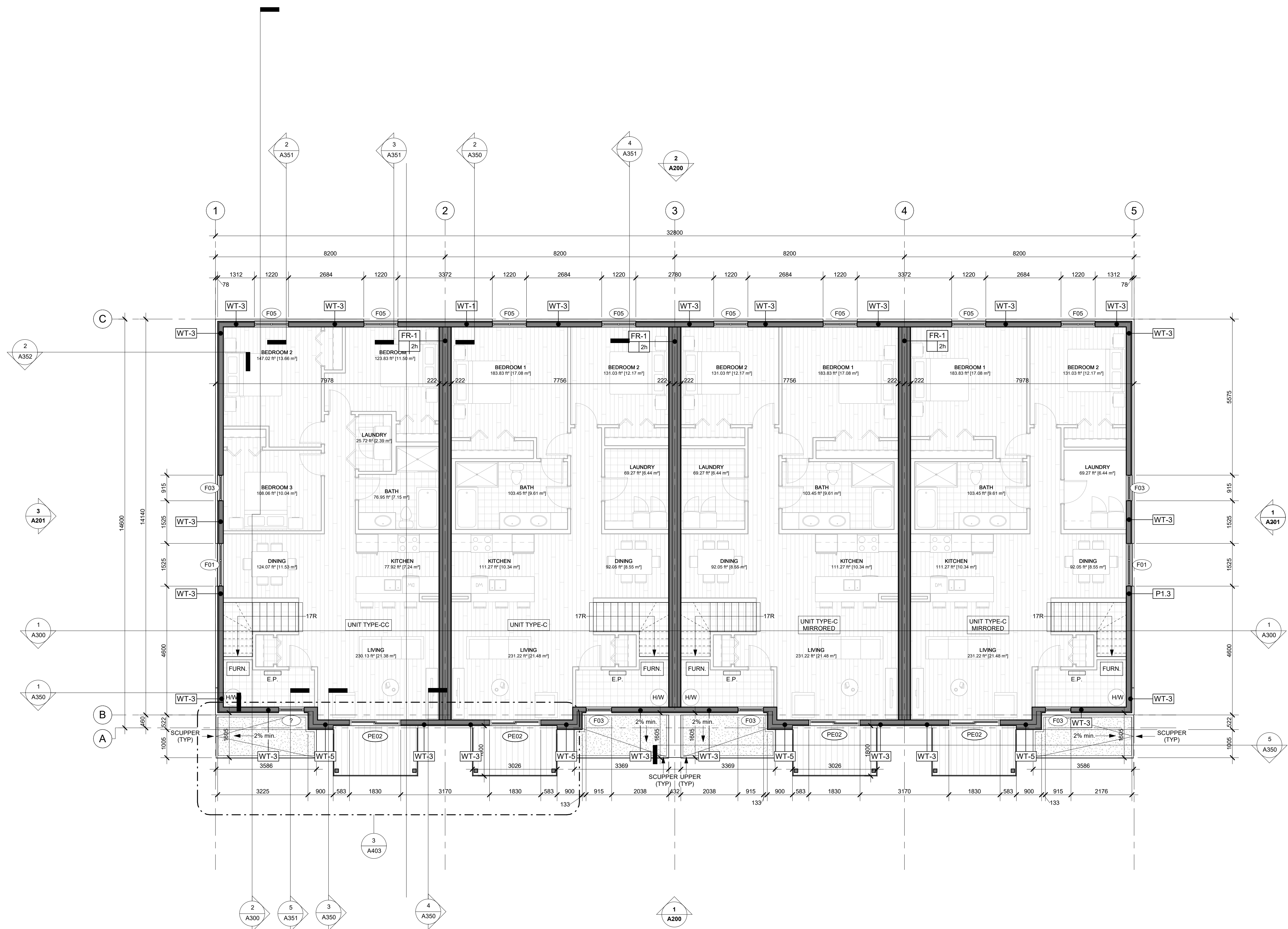
DRAWING NAME / NOM DU DESSIN :

SECOND FLOOR PLAN

DRAWING INFORMATION /
INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	23174B
DATE :	2023-11-16
DRAWN BY / DESSINÉ PAR :	CK/RS
REVIEWED BY / VÉRIFIÉ PAR :	ES
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	2
DWG NO. / NO. DESSIN :	A102

REVISION NO. / NO. DE RÉVISION : 1.9



1 SECOND FLOOR PLAN
1:75



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PROJECT TEAM / ÉQUIPE DU PROJET :

Project Team 1

KEY PLAN / PLAN CLÉ :



CLIENT :



Tel : 819.863.7777 | www.devcore.ca

revision	description	date
1.9	99% COORD.	24-11-22
1.7	66% COORD.	24-10-07
1.2	33% COORD.	23-12-11
1.1	SCHEMATIC DES.	23-11-15

PROJECT NAME / NOM DU PROJET :

**Rockland Dev.
Catherine - 12un 2st**

Catherine Street

DRAWING NAME / NOM DU DESSIN :

ROOF PLAN

DRAWING INFORMATION /
INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET : **23174B**

DATE : **2023-11-16**

DRAWN BY / DESSINÉ PAR : **CK/RS**

REVIEWED BY / VÉRIFIÉ PAR : **ES**

SCALE / ÉCHELLE : **As indicated**

PROJECT PHASE / PHASE DU PROJET : **2**

DWG NO. / NO. DESSIN :

A103

REVISION NO. / NO. DE RÉVISION : **1.9**

TYPICAL DRAWINGS NOTES:

ALL INTERIOR PARTITIONS TO BE P1.2 UNLESS OTHERWISE NOTED.

EXTEND ALL PARTITIONS TO U/S DECK OR SLAB U.N.

STAGGER ALL JOINTS OF MULTIPLE GYPSUM BOARD LAYERS.

INNER LAYERS MUST BE TAPED BUT NOT SANDED.

INSTALL GYPSUM BOARD WITH NO JOINTS GREATER THAN 6mm.

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SEAL VOID AT T/O OF ALL NON-RATED CONCRETE BLOCK PARTITIONS WITH ACOUSTIC CAULK OVER BACKER ROD.

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STUD WALL REINFORCEMENT:
SECURE 19mm VENEER CORE PLYWOOD BLOCKING TO STUDS WITHIN THE WALL CAVITY AS REQUIRED TO ANCHOR THE FUTURE INSTALLATION OF GRAB BARS LOCATED IN ALL SUITE WASHROOMS AND INSTALL BLOCKING TO ACCOMMODATE THE FOLLOWING GRAB BAR CONFIGURATIONS:

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SHIM AS REQUIRED TO PLUMB WALLS FOR ALL FURRING CHANNELS. ADJUST OTHER DIMENSION ACCORDINGLY.

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- STAGGER GYPSUM LAYERS AT JOINTS

ACCESS LADDERS MUST CONFORM TO THE REQUIREMENTS OF ENGINEERING DATA SHEET 2-04, ISSUED BY THE MINISTRY OF LABOUR.

ROOF

NUMBERING

- BOWL**
Identification number
- DRAIN**
No. d'identification

SLOPE

- SLOPE ARROW** Type and Direction
- ROOF POOL** Slope per structure
- ROOF POOL** 2% slop
- PITCHED ROOF** structure

DRAIN

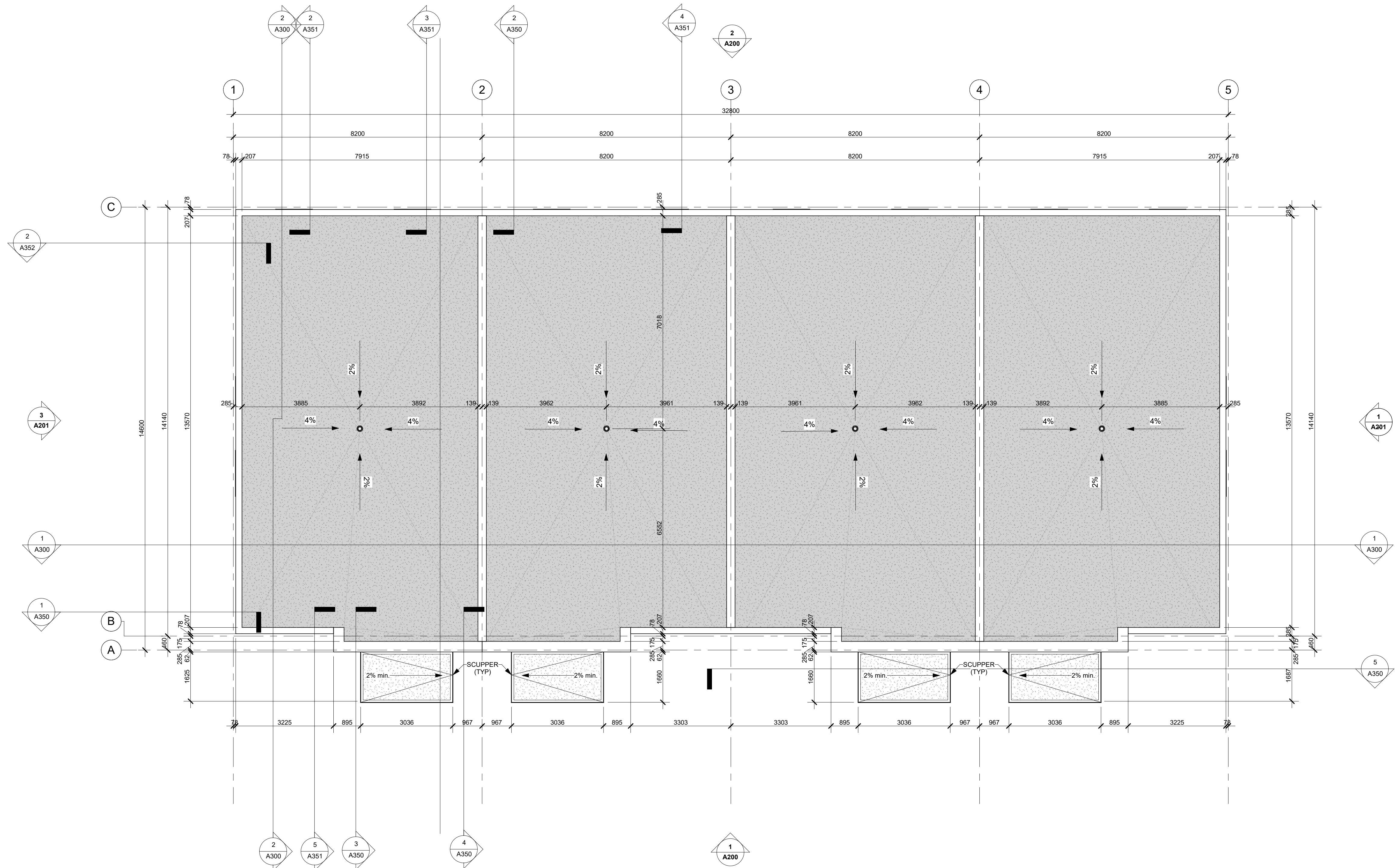
- Drain**
New

VENT

- Ven'**

MECHANICAL EQUIPMENT

- ROOF UNIT**
New
- GOOSENECK**
New
- EVACUATOR**
New
- CABANON SHUTTER**
New



1 ROOF PLAN
1:75



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PROJECT TEAM / ÉQUIPE DU PROJET :

Project Team 1

EXTERIOR FINISHES

MASONRY	
	BRICK VENEER - 90x200x400mm Color: Charcoal
	MORTAR JOINT Sealant, color to match adjacent material.
	EXPOSED JOINT:
MORTAR	
	BETON PLUS ARCHITECTURAL BLOCK MORTAR Color: Charcoal
LAP SIDING	
	LONGBOARD HORIZONTAL LAP To Be Selected, Horizontal Cladding, Timber Bark.
	LONGBOARD HORIZONTAL LAP To Be Selected, Horizontal Cladding, Black
FIBER CEMENT PANEL	
	FIBER CEMENT PANEL James Hardie, Vertical Panel, White.
	FIBER CEMENT PANEL James Hardie, Vertical Panel, Night Grey.
FLASHING	
	METAL FLASHING White
	METAL FLASHING Grey
	METAL FLASHING Black
ROOFING	
	ASPHALT SHINGLES Grey
FRAMES	
	FRAMES (Windows&Doors) Black
	FRAMES (Guards&handrails) Silver
GLAZING	
	GLASS Clear

NOTES

- FLASHING AS PER WALL TAG UNLESS OTHERWISE STATED.
- ALL WINDOW AND DOOR FRAMES TO BE FR-1 UNLESS OTHERWISE STATED.
- ALL GUARDS AND HANDRAILS TO BE FR-2 UNLESS OTHERWISE STATED.
- ALL GLAZING TO BE GL-1 UNLESS OTHERWISE STATED.
- ALL GLASS GUARDS TO BE TEMPERED OR LAMINATED GLASS. THEY ARE REQUIRED TO BE DESIGNED BY A PROFESSIONAL ENGINEER IN ACCORDANCE WITH DIVISION B PART 4 OR PART 9 (WHERE APPLICABLE) OF THE OBC.

KEY PLAN / PLAN CLÉ :



CLIENT :



Tel : 819.663.7777 | www.devcore.ca

1.9	99% COORD.	24-11-22
1.7	66% COORD.	24-10-07
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1.1	SCHEMATIC DES.	23-11-15
1.0	CLIENT COORD.	23-10-27
revision	description	date

PROJECT NAME / NOM DU PROJET :

**Rockland Dev.
Catherine - 12un 2st**

Catherine Street

DRAWING NAME / NOM DU DESSIN :

ELEVATION - NS

DRAWING INFORMATION / INFORMATION DU DESSIN :

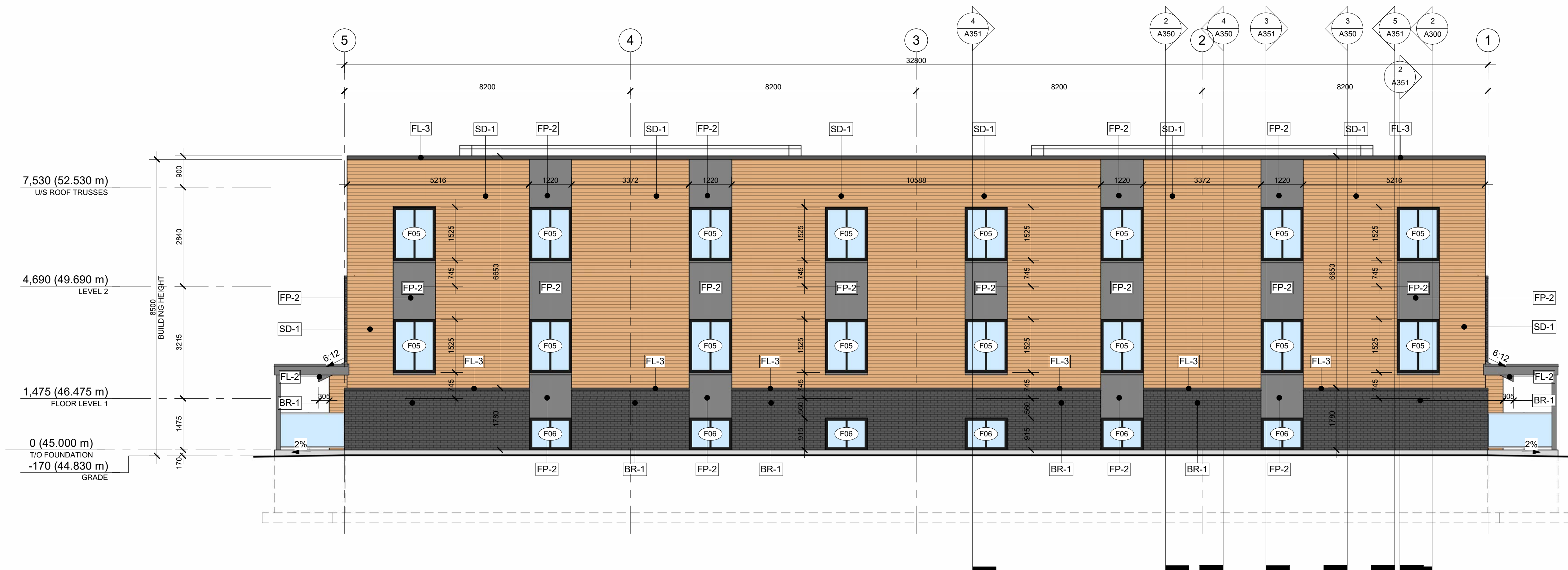
PROJECT NO. / NO. DE PROJET :	23174B
DATE :	2023-11-16
DRAWN BY / DESSINÉ PAR :	CK/RS
REVIEWED BY / VÉRIFIÉ PAR :	ES
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	2
DWG NO. / NO. DESSIN :	A200

REVISION NO. / NO. DE RÉVISION :

1.9



1 SOUTH ELEVATION
1 : 75



2 NORTH ELEVATION
1 : 75



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	FIBER CEMENT PANEL James Hardie, Vertical Panel, Night Grey.
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	METAL FLASHING Grey
	METAL FLASHING Black
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	ASPHALT SHINGLES Grey
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- ALL GUARDS AND HANDRAILS TO BE FR-2 UNLESS OTHERWISE STATED.
- ALL GLAZING TO BE GL-1 UNLESS OTHERWISE STATED.
- ALL GLASS GUARDS TO BE TEMPERED OR LAMINATED GLASS. THEY ARE REQUIRED TO BE DESIGNED BY A PROFESSIONAL ENGINEER IN ACCORDANCE WITH DIVISION B PART 4 OR PART 9 (WHERE APPLICABLE) OF THE OBC.

KEY PLAN / PLAN CLÉ :



CLIENT :



Tel : 819.863.7777 | www.devcore.ca

1.9	99% COORD.	24-11-22
1.7	66% COORD.	24-10-07
1.2	33% COORD.	23-12-11
1.1	SCHEMATIC DES.	23-11-15
1.0	CLIENT COORD.	23-10-27
revision	description	date

PROJECT NAME / NOM DU PROJET :

**Rockland Dev.
Catherine - 12un 2st**

Catherine Street

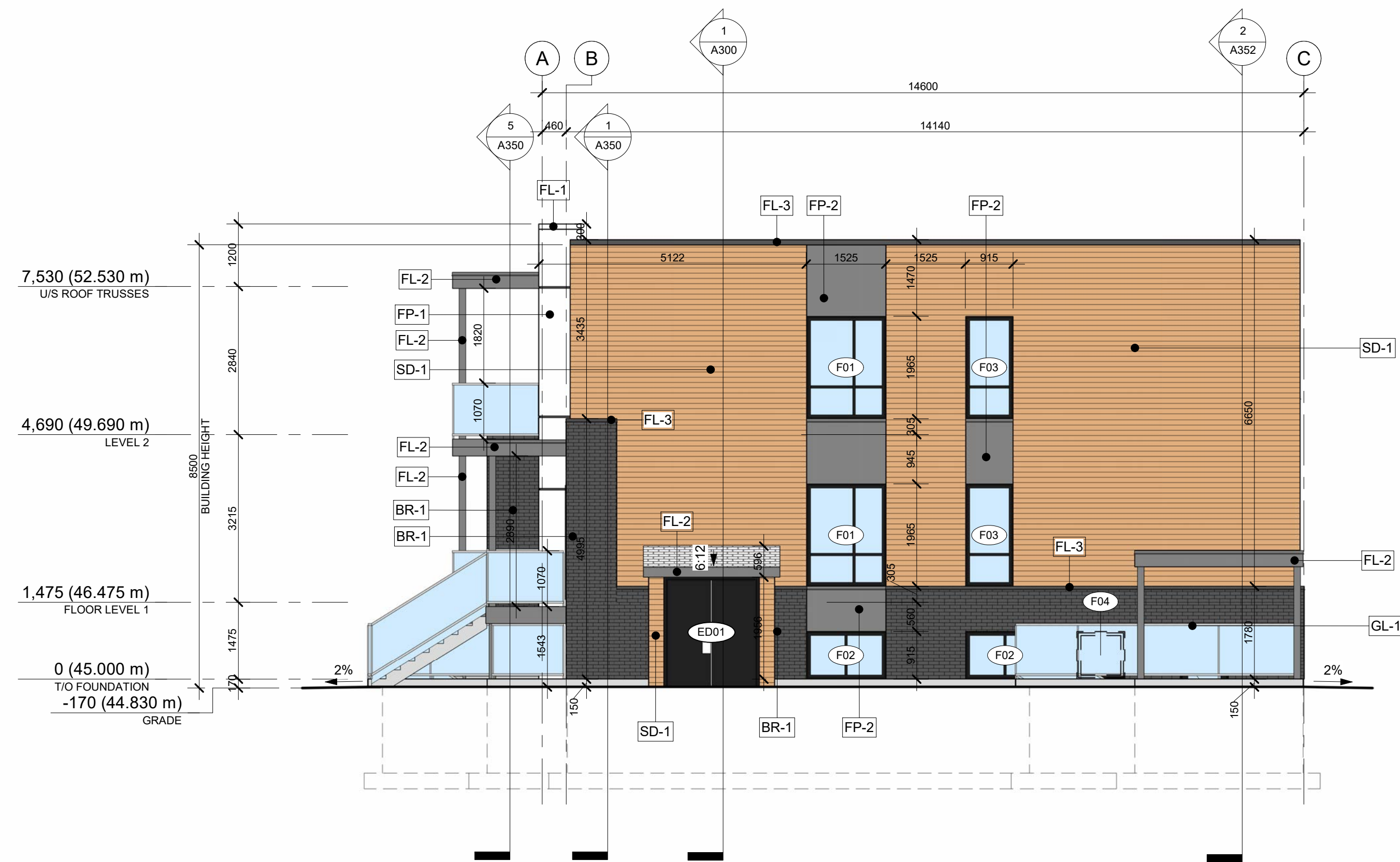
DRAWING NAME / NOM DU DESSIN :

ELEVATION - EW

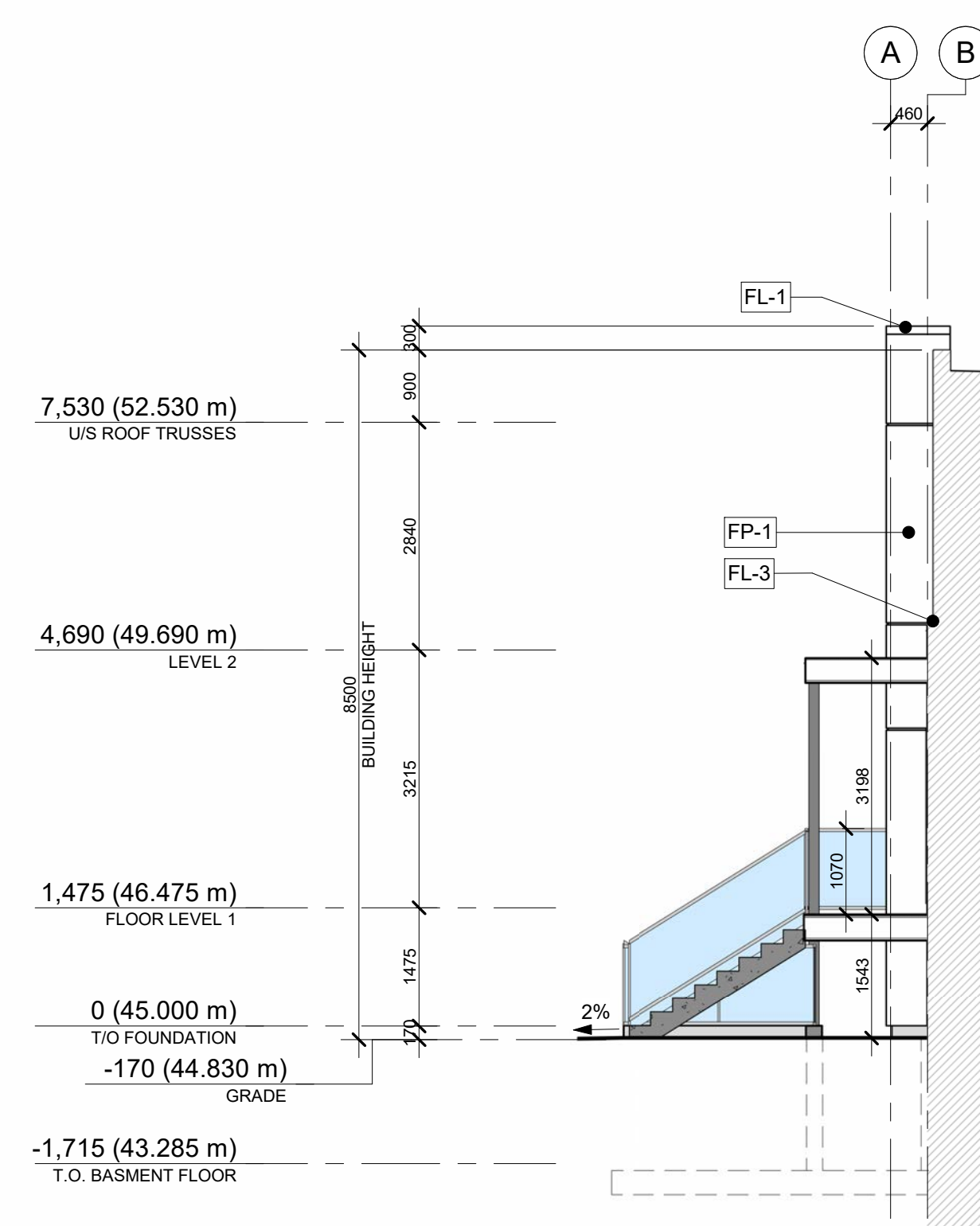
DRAWING INFORMATION / INFORMATION DU DESSIN :

PROJECT NO. / NO. DE PROJET :	23174B
DATE :	2023-11-16
DRAWN BY / DESSINÉ PAR :	CK/RS
REVIEWED BY / VÉRIFIÉ PAR :	ES
SCALE / ÉCHELLE :	As indicated
PROJECT PHASE / PHASE DU PROJET :	2
DWG NO. / NO. DESSIN :	A201

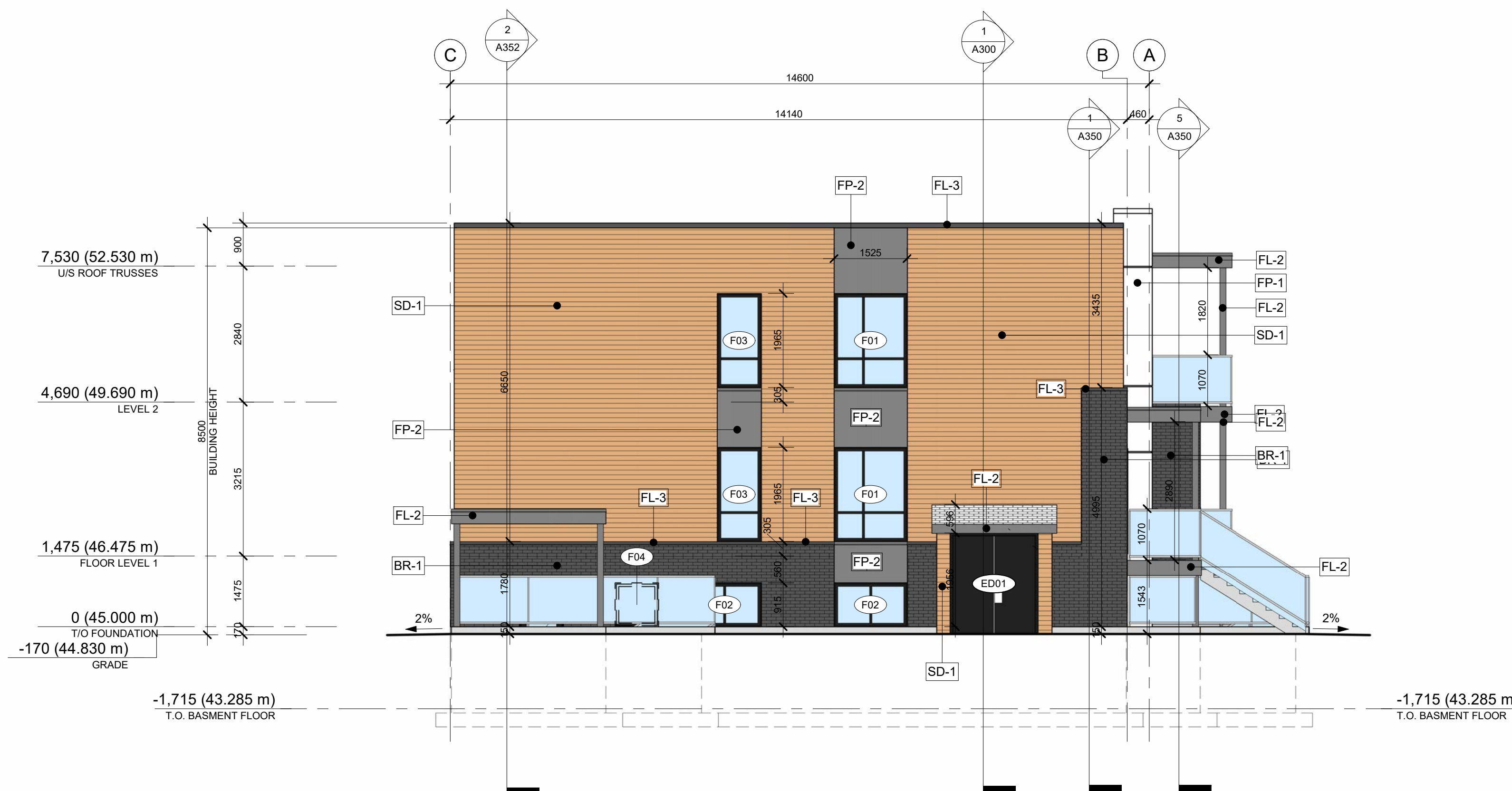
REVISION NO. / NO. DE RÉVISION : 1.9



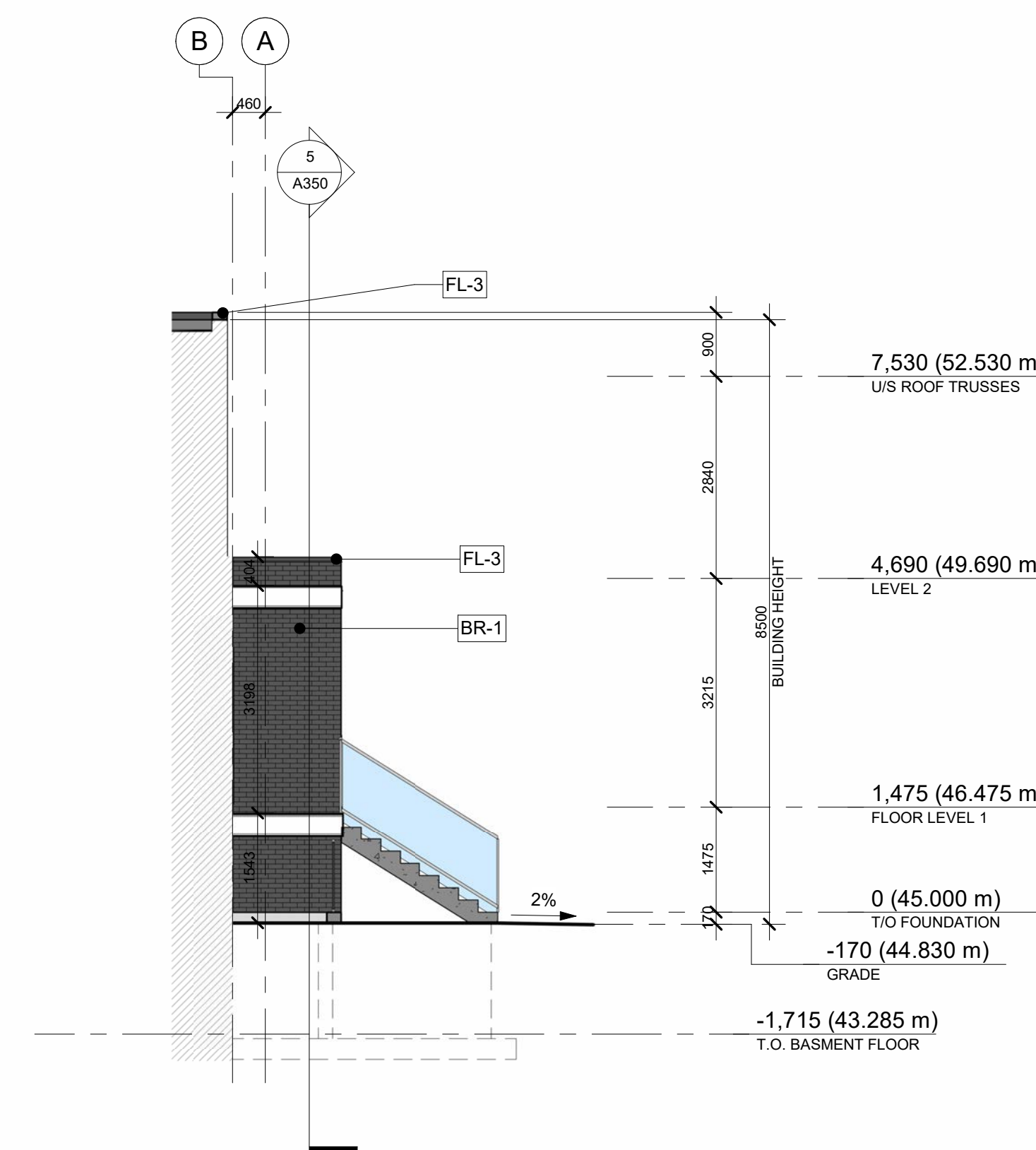
1 EAST ELEVATION
1:75



2 EAST ENTRY ELEVATION
1:75



3 WEST ELEVATION
1:75



4 WEST ENTRY ELEVATION
1:75